



Reliable Home Inspection Service
100 Old Kennett Road
Wilmington, Delaware 19807
877-993-9100
www.reliablehomeinspectionsservice.com

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Referral Information:

[REDACTED]

[REDACTED]

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FRONT VIEW PHOTO



Inspection Summary

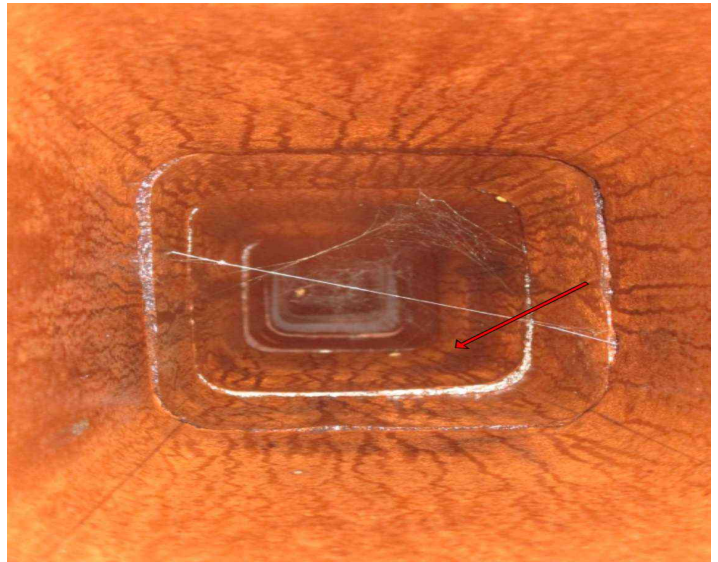
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Major Defect

CHIMNEY

1: Flue Lining

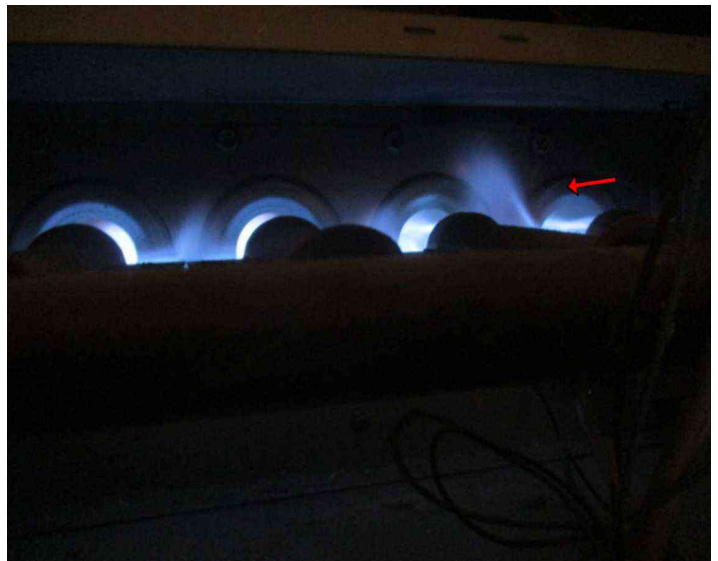
Large amount of condensation noted inside the flue and should be further evaluated and all needed repairs should be made.



FURNACE

2: Heat Exchanger Flame Pattern

Flame pattern failure indicates problems with the furnace that should be evaluated by qualified HVAC contractor and repair or replacement be completed.



3: Bathtub Faucets

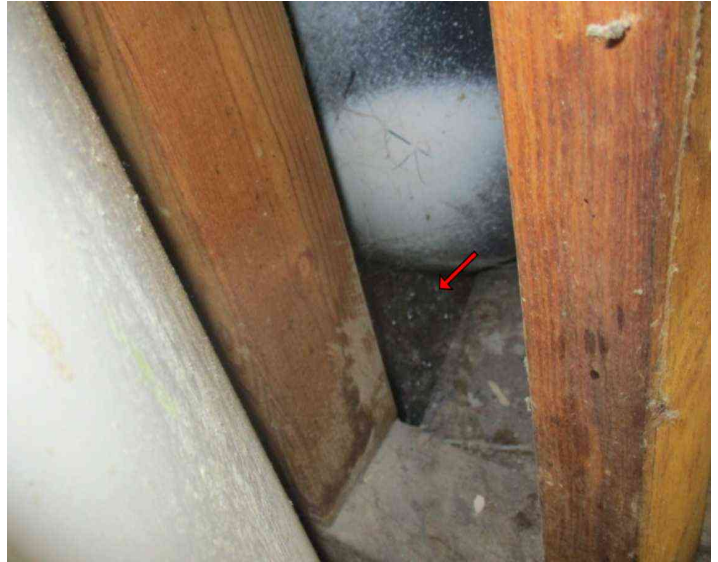
1st floor bathroom tub did not produce hot water and should be evaluated and repaired.

Major Defect

BATHROOM

4: Shower Drain

Active leak was noted at the lower level tub and the entire plumbing system should be evaluated by a qualified plumbing contractor and all needed repairs should be made.



INTERIOR

5: Windows

Condensation was noted in between multiple insulated window panes. All windows should be evaluated and all needed repairs should be made.



Major Defect



Major Defect



Safety Concern

GROUNDS

6: Patio

Uneven areas present tripping hazard.



GROUNDS

7: Driveway/Parking Lot

Some cracks noted. Uneven areas may present a tripping hazard and should be repaired to prevent injury.



8: Garage Electrical System

Recommend GFCI protection. Wiring should be protected.

Safety Concern

GARAGE

9: Garage Interior Walls

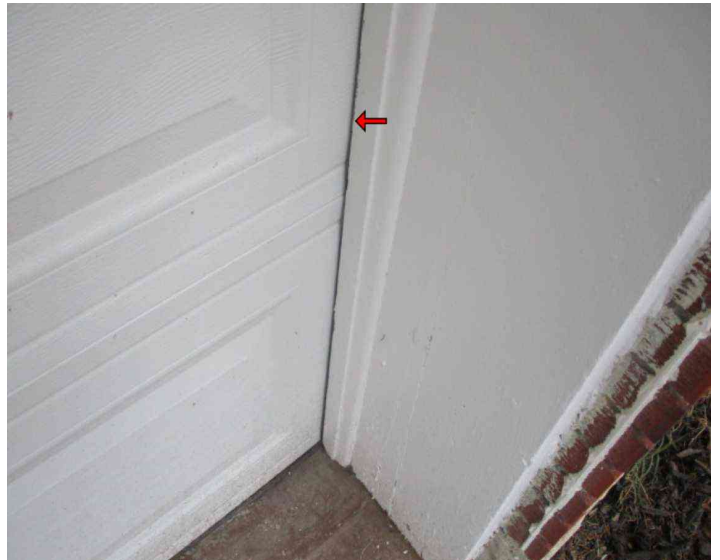
All holes in fire rated walls should be patched.



GARAGE

10: Garage Doors

Door between house and garage and should be fire rated. Missing weather stripping was noted and should be repaired.



Safety Concern



11: Inspection Sticker

No panel sticker in main panel and should be inspected.

ELECTRIC

12: Electrical Defaults

Damage pull chain was noted at the laundry room light fixture and should be repaired.



Safety Concern

PLUMBING

13: Interior Waste/Vent Pipes Primary Visible Type

Most piping concealed supply and drain. Open waste line was noted in the utility room and should be repaired.



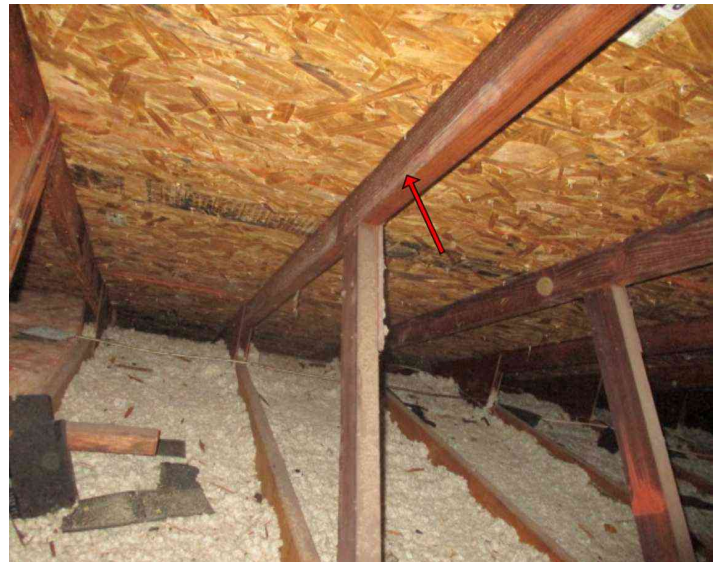
14: Range Oven

Self cleaning if on stove not part of inspection and will not be tested. A stabilizing device should be installed to prevent movement of the stove. Stove should be leveled.

ATTIC

15: Attic Structural Framing Type

As is common in most home in America some possible mold/mildew was noted on some structural surfaces and sheathing and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



Safety Concern

INTERIOR

16: Stairways

Objects larger than 4" (102 mm) should not pass through rails or ornamental closures.

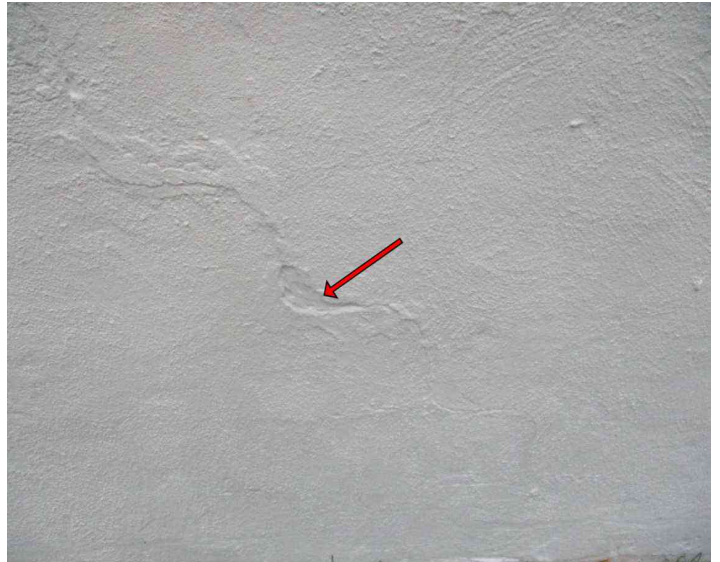


Service/Repair

EXTERIOR

17: Masonry Walls

Some cracks were noted.



Service/Repair

EXTERIOR

18: Trim Work

Some loose paint and wood rot noted.



19: Windows Storm\Screen

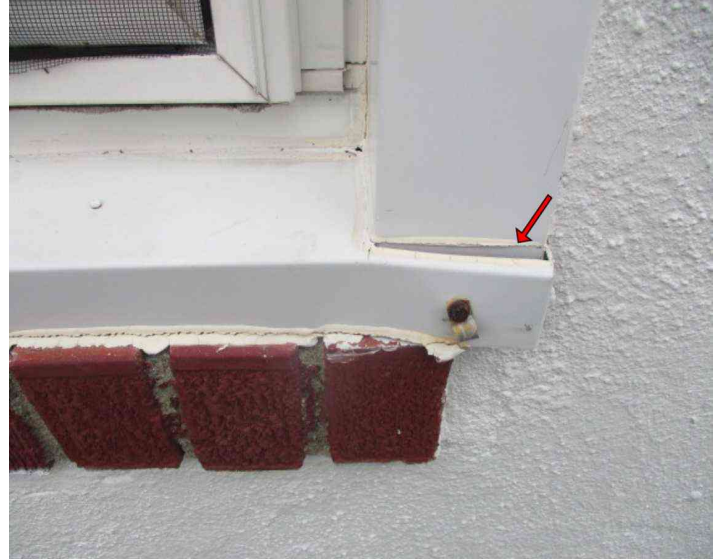
Some missing screens were noted.

Service/Repair

EXTERIOR

20: Caulking

Caulking should be improved.



GROUND

21: Steps

Cracks and some settlement noted. Seam at the front door should be sealed.



Service/Repair



GUTTERS

22: Splash Blocks

Splash blocks or run off drains should be added. Run off drains should be added. Run-off drains would carry water further away from foundation than splash blocks, and are recommended.



Service/Repair

CHIMNEY

23: Chimney Top

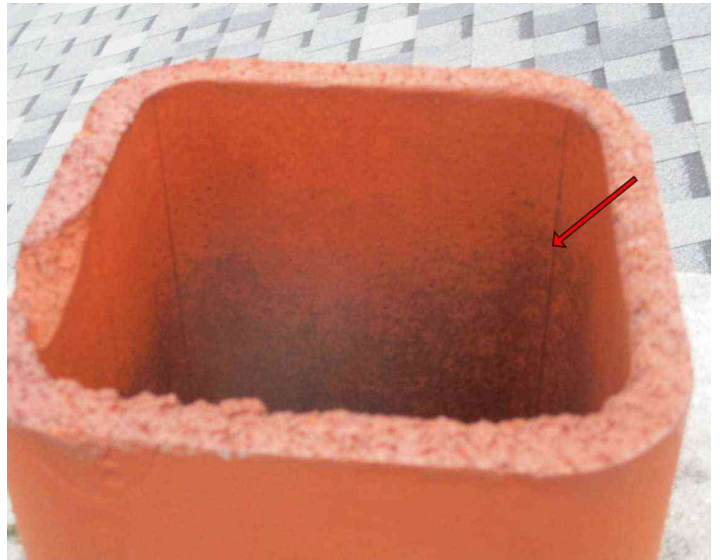
Some cracks noted in chimney top.



CHIMNEY

24: Chimney Cap

The cap is missing and should be replaced.



Service/Repair

COOLING

25: Cooling Lines

The insulation should be improved.



26: Municipal Main Supply Type

Recommend adding shut off on house side of the meter.

PLUMBING

27: Type of Outside Spigots

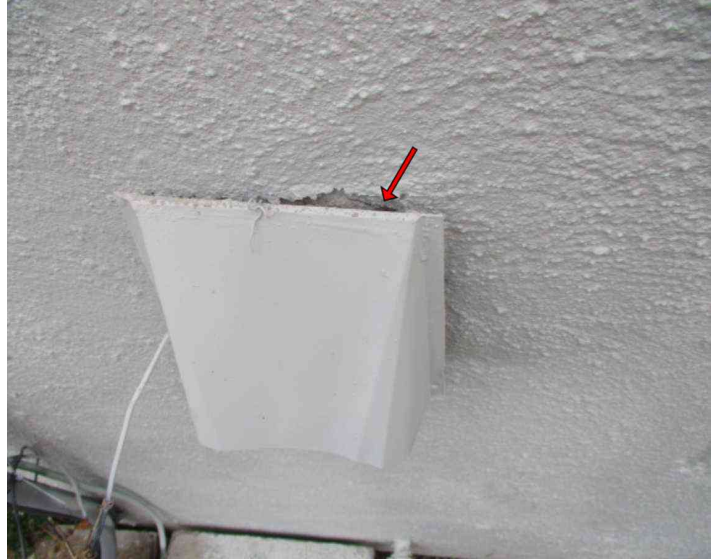
Unprotected hose connections should be shut off and drained before first freeze each year. Missing valve was noted and should be repaired.



LAUNDRY

28: Dryer Vented

The vent is loose and should be repaired.

**29: Kitchen Doors Windows**

Condensation noted between panes of insulated glass was noted. Refer to interior windows.

30: Kitchen Cabinets

Some cabinet doors rub. Some loose hinges were noted.

31: Bathroom Doors, Windows

Condensation was noted between panes of insulated glass and the window should be replaced. Lower bathroom. Refer to interior windows.

32: Bath Showerhead

Shower head is loose where it meets the wall and should be repaired. First floor.

Service/Repair

ATTIC

33: Attic Insulation Thickness

Very little insulation installed and suggest adding more R-30 is suggested. Some missing areas were noted and should be repaired.



34: Interior Walls

Typical drywall flaws were noted. Some poorly finished areas were noted and should be repaired.

35: Closets

Some doors would not close properly.

Monitor/Maintain

EXTERIOR

36: Exposed Foundation Primary Visible Type

Some cracks noted.

Monitor/Maintain

37: Grading

Soil should be sloped away from house to improve drainage.

38: Walks

Cracks and some settlement noted.

39: Gutter Type

Gutters should be cleaned regularly to prevent rot and roof damage.

40: Cooling System 1 Approx. Age

Unit very old and extended life should not be expected.

41: Interior Water Pipes Primary Visible Type

Plumbing size reduction was noted and may cause pressure reduction.

42: Water Heater 1 Approx. Age

Unit old and extended life should not be expected.

W. HEATER

43: Water Heater Exterior Jacket

There is rust at base of unit.



44: Forced Air System 1 Approx. Age

Unit is very old and extended life should not be expected.

Monitor/Maintain

FURNACE

45: Filter System

Filters should be replaced every three months.



46: Attic Sheathing

Missing "H" clips were noted in roof system and should have been installed at the time of construction but are very difficult to install at a later date. The roof should be monitored for problems but no major deflection was noted at the time of this inspection.

47: Interior Ceilings

Typical drywall flaws were noted.

48: Smoke Detectors

Smoke detectors should be checked on the day home is occupied Today it is suggested and required in some areas to have one smoke detector in each bedroom and one in the hall within 15 feet of bedroom doors and a carbon monoxide detector on bedroom floor and one smoke detector on each remaining level including basement

Inspection Definition/Limitation

COOLING

49: Cooling System 1 Brand

Tag on unit either damaged or missing. All information in this section assumed.

50: Differential Temp 1

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

Inspection Definition/Limitation

51: LAUNDRY

No appliances were installed.

52: Heat Exchanger Visual

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

53: Attic Accessibility

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

54: Attic Exhaust

Other = Not visible.

55: Interior Cooling Source

The outside temperature was to low to safely test Cooling Mode.

Inspection Definition/Limitation

56: Inspection Description/limitation

DEFINITION/LIMITATION INSPECTION DEFINITION/LIMITATION Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited. Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear. Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems. Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working. Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair. Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair. Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.

Inspection Description/limitation

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

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Inspection Report Details

EXTERIOR

Outside Outlets - None

Type of Building - Frame, 2 Story

Exposed Foundation Primary Visable Type - Cement Block

Some cracks noted.

Soffit\Fascia - Aluminum

Siding - Vinyl

Masonry Walls - Brick, Block

Some cracks were noted.

Trim Work - Aluminum, Wood

Some loose paint and wood rot noted.

Grading - Inadequate

Soil should be sloped away from house to improve drainage.

Entry Doors - Metal

Storm Doors - Aluminum

Window Character Material - Vinyl

Window Character Type - Double Hung

Glass - Insulated

Windows Storm\Screen - MFG Screens

Some missing screens were noted.

Weather Stripping - Fiber\Felt

Caulking - Windows, Doors, Siding Ends, Penetrations

Caulking should be improved.

GROUNDS

Walks - Concrete

GROUNDS

Cracks and some settlement noted.

Service/Repair Steps - Concrete

Cracks and some settlement noted. Seam at the front door should be sealed.

Safety Concern Patio - Concrete

Uneven areas present tripping hazard.

Safety Concern Driveway/Parking Lot - Asphalt

Some cracks noted. Uneven areas may present a tripping hazard and should be repaired to prevent injury.

Hand Rail - Steel

GUTTERS

Inspected From - Roof

Access Restricted - Not Restricted

Monitor/Maintain Gutter Type - Aluminum

Gutters should be cleaned regularly to prevent rot and roof damage.

Downspout Type - Aluminum

Sealed Downspouts - None

Service/Repair Splash Blocks - Concrete

Splash blocks or run off drains should be added. Run off drains should be added. Run-off drains would carry water further away from foundation than splash blocks, and are recommended.

ROOF

How Inspected - Walk on Roof

Roof Access Restricted - Not Restricted

Roof Style - Gable

Roof Covering Primary Type - Fiberglass asphalt shingle

Approx. Age - 1 thru 5

Number of Layers - 1

ROOF

Roof Ventilation System - Soffit, Gable Vents

Flashing - Aluminum

Plumbing Vents - Cast Iron

CHIMNEY

Chimney Inspected From - Roof

Chimney 1 Type - Brick

Chimney 1 Location - Main

Flue Lining - Clay Tile

Large amount of condensation noted inside the flue and should be further evaluated and all needed repairs should be made.

Chimney Top - Cement

Some cracks noted in chimney top.

Chimney Cap - None

The cap is missing and should be replaced.

COOLING

Cooling System 1 Brand - Goodman manufacturing, No Service Tag

Tag on unit either damaged or missing. All information in this section assumed.

Cooling System 1 Tonnage - 2.5 Ton

Cooling System 1 Approx. Age - 15 plus

Unit very old and extended life should not be expected.

Heat Pump - Air to Air

Cooling System Coils and Fins - Clean

Cooling System Electrical - Ext. Disconnect

Cooling Lines - Insulation

The insulation should be improved.

Condensate Drain - Plastic

COOLING

Inspection Definition/Limitation Differential Temp 1 - Too Cold to Test Unit

Outside temp. was too low and unit could not be safely tested. Operating A/C units below 60 degrees or heat pumps in the cooling mode below 65 degrees can damage the compressor, thus, the unit was not tested at time of inspection.

GARAGE

Garage Type - 1 Car Attached

Garage Exterior Walls - Same as House

Safety Concern Garage Electrical System - Grounded

Recommend GFCI protection. Wiring should be protected.

Auto Garage Door Lift Controls - Manual

Safety Concern Garage Interior Walls - Drywall\Plaster

All holes in fire rated walls should be patched.

Garage Interior Ceiling - Drywall\Plaster

Garage Floor - Concrete

Safety Concern Garage Doors - Overhead

Door between house and garage and should be fire rated. Missing weather stripping was noted and should be repaired.

ELECTRIC

Main Electrical Service - Underground Lateral Cable

Main Electrical Service Wire - Aluminum

Voltage Available - 110 / 220

Main Electrical Distribution Panel Accessibility - Typical

Main Electrical Distribution Panel Location - Basement, Garage

Main Electrical Disconnect - Breaker

Main Panel - 100

ELECTRIC

Interior Wiring Visible Primary Type - Copper 90 percent

Type of Wire Visible Primary Type - Romex

Grounding - Driven Rod

Breakers in Use - Room for Expansion

Inspection Sticker - Main Panel

No panel sticker in main panel and should be inspected.

Electrical Defaults - Main Panel

Damage pull chain was noted at the laundry room light fixture and should be repaired.

Electrical Duplex Receptacles Primary Type - 3 Slotted

PLUMBING

Water Source - Municipal

Municipal Main Supply Size - 3/4

Municipal Main Supply Type - Copper

Recommend adding shut off on house side of the meter.

Main Water Shut Off - Utility Room

Main Gas Valve - Outside

Interior Water Pipes Primary Visible Type - Copper

Plumbing size reduction was noted and may cause pressure reduction.

Waste System - Municipal

Interior Waste/Vent Pipes Primary Visible Type - Copper, Cast Iron

Most piping concealed supply and drain. Open waste line was noted in the utility room and should be repaired.

Number of Outside Spigots - 2

Type of Outside Spigots - Unprotected

PLUMBING

Unprotected hose connections should be shut off and drained before first freeze each year. Missing valve was noted and should be repaired.

W. HEATER

Satisfactory	Water Heater 1 Mfg. - State
Satisfactory	Water Heater 1 Rated BTU Per Hour - 30,000 +
Monitor/Maintain	Water Heater 1 Approx. Age - 15 plus
Unit old and extended life should not be expected.	
Satisfactory	Water Heater 1 Size - 40
Satisfactory	Water Heater Fuel - Gas
Satisfactory	Water Heater Flue Pipe - Single Wall
Satisfactory	Water Heater Gas Piping - Valve On Off
Satisfactory	Water Heater Cold Water Valve - Present
Satisfactory	Temp. Pressure Relief Valve and Pipe - Present
Monitor/Maintain	Water Heater Exterior Jacket - Rust Noted

There is rust at base of unit.

LAUNDRY

Inspection Definition/Limitation	LAUNDRY - General Comment
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No appliances were installed.

Satisfactory	Laundry Water Faucets - Single Handle
Satisfactory	Washer Drains - Trapped Line
Service/Repair	Dryer Vented - Wall

The vent is loose and should be repaired.

Satisfactory	Laundry Energy Source - Gas
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FURNACE

Satisfactory	Forced Air System 1 Mfg. - Armstrong
Satisfactory	Forced Air System 1 BTU Per Hour - 55,000+

FURNACE

Monitor/Maintain Forced Air System 1 Approx. Age - 20 plus

Unit is very old and extended life should not be expected.

Forced Air System Energy Source - Gas

Hot Air System - Direct Drive

Major Defect Heat Exchanger Flame Pattern - Fail

Flame pattern failure indicates problems with the furnace that should be evaluated by qualified HVAC contractor and repair or replacement be completed.

Inspection Definition/Limitation Heat Exchanger Visual - Pass

Even when great care is taken to inspect heat exchanger visual most of it is not accessible and some problems may not be visible.

Distribution System Type - Up Flow

Distribution System Material - Metal Duct

Thermostat - Single and Multi

Flue Piping - Single Walled

Monitor/Maintain Filter System - Disposable

Filters should be replaced every three months.

KITCHEN

Kitchen Walls - Drywall

Kitchen Ceiling - Drywall

Kitchen Floors - Vinyl

Kitchen Heating Source - Central

Kitchen Cooling Source - Central

Service/Repair Kitchen Doors Windows - Tested

Condensation noted between panes of insulated glass was noted. Refer to interior windows.

Service/Repair Kitchen Cabinets - Laminate

Some cabinet doors rub. Some loose hinges were noted.

KITCHEN

Satisfactory	Kitchen Sink - Stainless
Satisfactory	Kitchen Sink Faucet - Single Lever
Satisfactory	Kitchen Sink 3rd Faucet - Sprayer
Satisfactory	Kitchen Drain and Trap - PVC
Satisfactory	Dishwasher Approx. Age - 1/5
Satisfactory	Dishwasher Mfg. - GE
Satisfactory	Exhaust Fan Hood - Hood Ductless
Safety Concern	Range Oven - Free Standing

Self cleaning if on stove not part of inspection and will not be tested. A stabilizing device should be installed to prevent movement of the stove. Stove should be leveled.

Satisfactory	Surface Cooktop - Gas
Satisfactory	Kitchen Wall Receptacles - GFI Protected
Satisfactory	Kitchen Switches Fixtures - Fixed

BATHROOM

Service/Repair	Bathroom Doors, Windows - Door Lock
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Condensation was noted between panes of insulated glass and the window should be replaced. Lower bathroom. Refer to interior windows.

Satisfactory	Bathroom Electric Switches and Fixtures - Wall
Satisfactory	Bathroom Receptacles - GFCI
Satisfactory	Bathroom Walls and Ceilings - Drywall
Satisfactory	Bathroom Exhaust System - Window
Satisfactory	Bathroom Heating Cooling - Central Sys
Satisfactory	Bathroom Sink Faucets - Individual
Satisfactory	Bathroom Sink Stopper - Push Pull
Satisfactory	Bathroom Sink Basin - Porcelain
Satisfactory	Bathroom Sink Drain and Trap - PVC
Satisfactory	Toilet Bowl and Tank - 2 Piece

BATHROOM

Toilet Operation - Flushes, Drains, Refills

Bathtub Faucets - Individual, Single Lever

1st floor bathroom tub did not produce hot water and should be evaluated and repaired.

Bathtub Stopper - Pop Up

Bath Showerhead - Standard

Shower head is loose where it meets the wall and should be repaired. First floor.

Tub Wall Encl. - Fiberglass

Bathroom Ventilation - Window

Bathroom Floor - Vinyl

Shower Drain - Tub

Active leak was noted at the lower level tub and the entire plumbing system should be evaluated by a qualified plumbing contractor and all needed repairs should be made.

Number of Full Baths - 2

ATTIC

Attic Accessibility - Access restricted

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

Attic Entry Access - Hatch

Attic Access Location - Closet

Attic Structural Framing Type - Trusses

As is common in most home in America some possible mold/mildew was noted on some structural surfaces and sheathing and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

Attic Structural Framing Spacing - 24 inches on Center

Attic Sheathing - Particle Board

ATTIC

Missing "H" clips were noted in roof system and should have been installed at the time of construction but are very difficult to install at a later date. The roof should be monitored for problems but no major deflection was noted at the time of this inspection.

Attic Floor Insulation - Loose Fill

Attic Insulation Thickness - 3 inches

Very little insulation installed and suggest adding more R-30 is suggested. Some missing areas were noted and should be repaired.

Attic Insulation Approx. R. Value - 11

Attic Ventilation - Ridge, Gable End, Soffit

Attic Wiring - Covered with Insulation, Exposed

Attic Vent Pipes - Vented Outside

Attic Exhaust - Other

Other = Not visible.

Attic Chimney Flues - Cement Block

INTERIOR

Number of Bedrooms - 4

Interior Walls - Paneling, Dry Wall

Typical drywall flaws were noted. Some poorly finished areas were noted and should be repaired.

Interior Ceilings - Dry Wall

Typical drywall flaws were noted.

Interior Floors - Vinyl

Interior Heat Source - Tested

Interior Cooling Source - Not Tested

The outside temperature was too low to safely test Cooling Mode.

Interior Cabinets and Shelving - Accessible

Closets - Doors in Place

INTERIOR

Some doors would not close properly.

Monitor/Maintain Smoke Detectors - One On Each Level

Smoke detectors should be checked on the day home is occupied Today it is suggested and required in some areas to have one smoke detector in each bedroom and one in the hall within 15 feet of bedroom doors and a carbon monoxide detector on bedroom floor and one smoke detector on each remaining level including basement

Safety Concern Stairways - With Hand Railings

Objects larger than 4" (102 mm) should not pass through rails or ornamental closures.

Ceiling Fan - Tested

Major Defect Windows - Operated

Condensation was noted in between multiple insulated window panes. All windows should be evaluated and all needed repairs should be made.

GFCI Rest - Reset

INSPECTION DEFINITIONS/LIMITATION

Inspection Definition/Limitation	Inspection Description/limitation - Information
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INSPECTION DEFINITIONS/LIMITATION

DEFINITION/LIMITATION INSPECTION DEFINITION/LIMITATION Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited. Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear. Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems. Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working. Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair. Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair. Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.

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