



RELIABLE HOME INSPECTION SERVICE
100 OLD KENNETT ROAD
WILMINGTON, DE 19807
302-993-9100
www.reliablehomeinspectionsservice.com

[REDACTED]

Inspected By:
Gregory J. Burns Jr. ASHI 259980,
DE#-H4-000098,

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

Referral Information

[REDACTED]

FRONT VIEW

PHOTO



Inspection Summary

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Major Defect

EXTERIOR

Soffit\Fascia

Evidence of wood boring insect damage was noted and should be evaluated by a qualified pest control contractor and any needed treatments should be made.



Major Defect

Siding

Wood rot was noted in the wood siding.
All exterior wood should be evaluated by qualified contractor and all needed repairs should be made.



Major Defect



Major Defect

Masonry Walls

All cracks and gaps should be sealed to prevent moisture penetration to the wood sheathing, and all exterior walls and finish should be evaluated and all needed repairs made.



Major Defect

Glass

Condensation was noted between panes of glass on insulated windows and should be replaced.



Major Defect

CHIMNEY

Flue Lining

Cracks were noted in flue liner. Further evaluation is recommended by a qualified chimney contractor and all needed repairs should be made.



Major Defect

ELECTRIC

Main Electrical Service

The main service cable is deteriorated and should be replaced.



Major Defect

PLUMBING

Municipal Main Supply Type

A leak was noted at pressure sight glass, and should be repaired by a plumbing contractor.



Major Defect

BOILER

BOILER

Strongly suggest that the unit be inspected by a qualified heating contractor, and should be inspected annually as per the manufacturer's recommendation. Records should be checked to determine if inspections have been carried out and if not, they should be done.

Some rust and corrosion was noted
Evidence of past leakage
A bucket was noted under the TPR



Major Defect

CRAWL SPACE

Crawl Space Insulation

Insulation limits inspection.
Evidence of animal activity was noted
Insulation was wet in areas at time of inspection, source of moisture should be identified and all needed repairs should be made to remove moisture and source.



Major Defect



KITCHEN

Exhaust Fan Hood

The fan was not working at the time of the inspection.
The exhaust fan is in the bottom of microwave.



INTERIOR

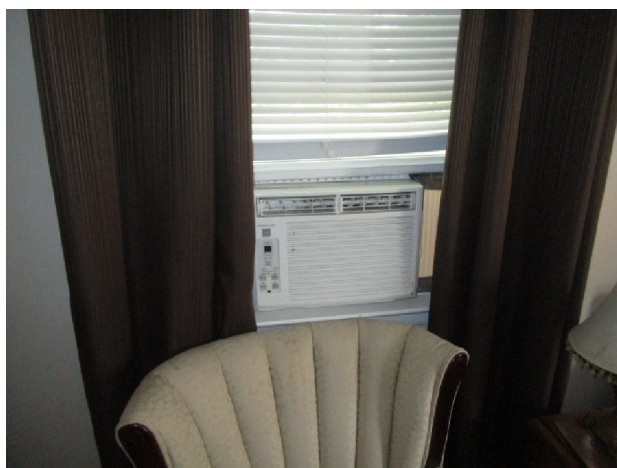
Interior Rooms

Live carpenter ant was noted crawling in the home and should be further evaluated by a pest control company and all needed treatments be applied.

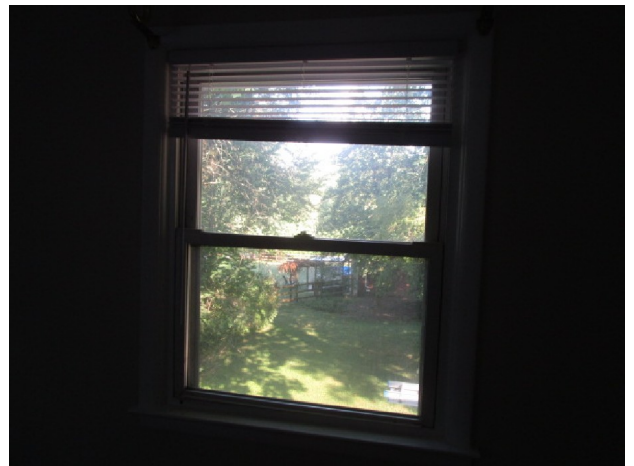
Major Defect

Windows

Condensation was noted between insulated window panes. Some windows were not tested due to lack of access. All windows should be evaluated by a qualified contractor and all needed repairs should be made.



Major Defect

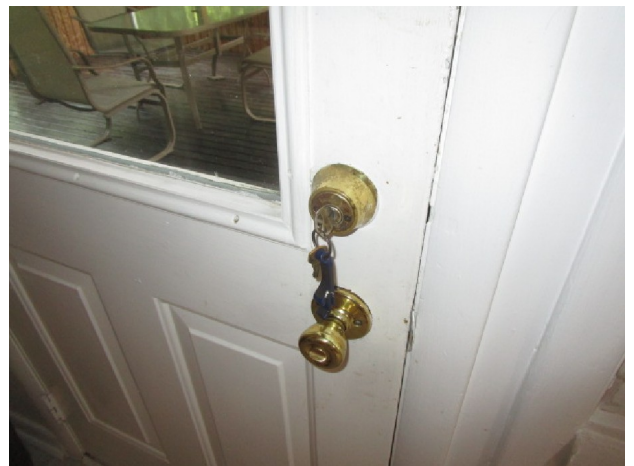


Safety Concern

EXTERIOR

Entry Doors

The key type dead bolt should be replaced with a knob type for ease of escape in the event of fire.



Safety Concern

GROUNDS

Driveway

Some cracks noted.
Uneven areas may present a tripping hazard and should be repaired to prevent injury.



Safety Concern

Hand Rail

Loose railing noted and should be repaired.



ELECTRIC

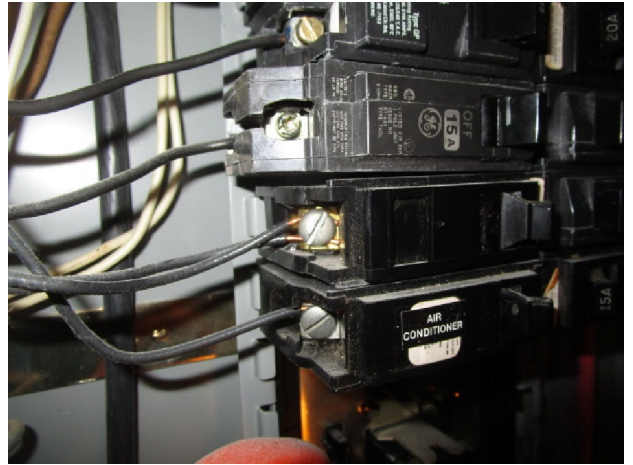
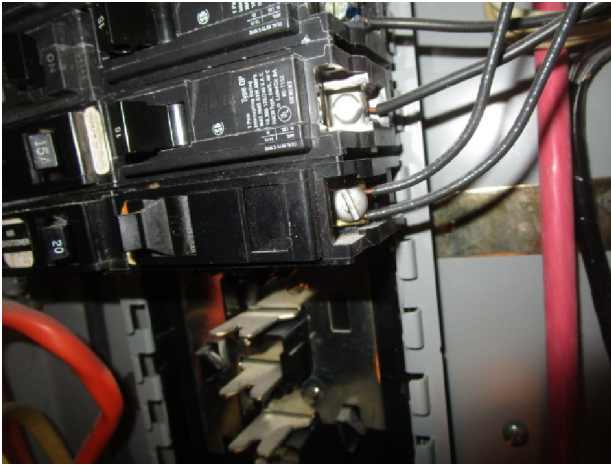
Inspection Sticker

No panel sticker in main panel and should be inspected.
No panel sticker in sub-panel and should be inspected.

Safety Concern

Electrical Defaults

Legend should be filled out to identify breakers.
Double tapping was noted and should be repaired.
Internal wiring should be better secured
Unused wiring should be removed or placed in a junction box



KITCHEN

Kitchen Wall Receptacles

Recommend adding GFCI outlets in areas near water.

Safety Concern

BATHROOM

Shower Stall Walls

Ceramic tile joints need caulking.
Some mold/mildew was noted on walls/ceiling and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.



Service/Repair

EXTERIOR

EXTERIOR

Bushes/Trees should be kept cut back from home.



Trim Work

Some loose paint and wood rot noted.

Service/Repair

Windows Storm\Screen

Some missing screens were noted.

Caulking

Caulking should be improved, to prevent water entry over time.



Service/Repair

GROUNDS

Steps

Cracks and some settlement noted.



Service/Repair

Porches

Cracks and settlement were noted.



Service/Repair

Decks

Some loose boards were noted
Water stains noted in screened in deck, were dry at time of inspection.



Service/Repair

GUTTERS

Gutter Type

Gutters should be cleaned regularly to prevent rot and roof damage. The gutters have debris in them and should be cleaned.



Downspout Type

Missing downspout noted and should be replaced.



Service/Repair

ROOF

Roof Covering Primary Type

Some soft areas were noted when walked on.
Some scuffing and aggregate loss noted and should be monitored.
Nail heads should be sealed where exposed.
Moss was noted growing on the roof surface.
Some debris was noted on roof surface.



Service/Repair



Roof Ventilation System

A damaged gable vent was noted.



COOLING

Condensate Drain

The condensate line drain terminates on the side of the house.



Service/Repair

BATHROOM

Bathroom Sink Drain and Trap

The drain in the master bath sink is slow.



Toilet Bowl and Tank

The toilet is loose at the base in the master bath.



Service/Repair

Bathtub Stopper

The stopper in the upstairs hall bath would not seal.
Hall bathroom tub/shower drains slowly



Service/Repair

INTERIOR

Interior Fire Place 1

The chimney/fireplace should be cleaned prior to use.



Ceiling Fan

The ceiling fan did not operate at time of inspection.



Service/Repair

Interior Walls

Typical drywall flaws were noted.
Some cracks were noted.



Monitor/Maintain

BOILER

Boiler System Energy Source

Oil tank was noted on the property
Tank was covered at time of inspection.



CRAWL SPACE

Crawl Space Foundation Walls

Some cracks and water penetration may occur over time.

INTERIOR

Interior Ceilings

Typical drywall flaws were noted.

Inspection Definition/Limitation

PLUMBING

Interior Waste/Vent Pipes Visual Primary Type

Most supply and drain piping was concealed.

BASEMENT

Basement Type

The basement is finished and will be referred to as an interior room.

Inspection Definition/Limitation

ATTIC

Attic Accessibility

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.



INTERIOR

Interior Cabinets and Shelving

Access was limited by stored items and furniture, the home is currently occupied at time of inspection

Inspection Definition/Limitation

INSPECTION DEFINITIONS/LIMITATION

Inspection Description/limitation

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

Report Definitions/Limitations - Definitions of inspection opinions or areas that the inspection is limited.

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Monitor/Maintain - An item that will require immediate maintenance and should be carefully monitored to avoid larger problems.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.

Inspection Report Details

EXTERIOR

Service/Repair EXTERIOR - General Comment

Bushes/Trees should be kept cut back from home.

Satisfactory Type of Home - Frame

Satisfactory Exposed Foundation - Brick

Major Defect Soffit\Fascia - Wood

Evidence of wood boring insect damage was noted and should be evaluated by a qualified pest control contractor and any needed treatments should be made.

Satisfactory Grading - Inadequate

Soil should be sloped away from house to improve drainage.

Major Defect Siding - Wood, Fiberboard

Wood rot was noted in the wood siding.
All exterior wood should be evaluated by qualified contractor and all needed repairs should be made.

Major Defect Masonry Walls - Stone

All cracks and gaps should be sealed to prevent moisture penetration to the wood sheathing, and all exterior walls and finish should be evaluated and all needed repairs made.

Service/Repair Trim Work - Wood, Aluminum, Vinyl

Some loose paint and wood rot noted.

Safety Concern Entry Doors - Metal

The key type dead bolt should be replaced with a knob type for ease of escape in the event of fire.

Satisfactory Storm Doors - Aluminum

Satisfactory Window Character Material - Vinyl

Satisfactory Window Character Type - Double Hung, Fixed

Satisfactory Additional Windows - Mixed Windows

Major Defect Glass - Insulated

Condensation was noted between panes of glass on insulated windows and should be replaced.

Service/Repair Windows Storm\Screen - MFG Screens

Some missing screens were noted.

Satisfactory Weather Stripping - Rubber\Vinyl, Fiber\Felt

Service/Repair Caulking - Windows, Doors, Siding Ends, Penetrations

Caulking should be improved, to prevent water entry over time.

GROUNDS

Satisfactory Walks - Concrete, Other

Cracks and some settlement noted.

Service/Repair Steps - Concrete, Wood

Cracks and some settlement noted.

Service/Repair Porches - Concrete

Cracks and settlement were noted.

Service/Repair Decks - P.T. Wood

Some loose boards were noted
Water stains noted in screened in deck, were dry at time of inspection.

Safety Concern Driveway - Asphalt

Some cracks noted.
Uneven areas may present a tripping hazard and should be repaired to prevent injury.

Safety Concern Hand Rail - Wood

Loose railing noted and should be repaired.

GUTTERS

Satisfactory Inspected From - Roof, Ladder, Ground

Satisfactory Access Restricted - Not Restricted

Service/Repair Gutter Type - Aluminum

Gutters should be cleaned regularly to prevent rot and roof damage.
The gutters have debris in them and should be cleaned.

Service/Repair Downspout Type - Aluminum

Missing downspout noted and should be replaced.

ROOF

Satisfactory How Inspected - Walk on Roof, From Ground, From Eaves, Ladder, Roof

Satisfactory Roof Access Restricted - Not Restricted

Satisfactory Roof Style - Gable

Service/Repair Roof Covering Primary Type - Fiberglass asphalt shingle

Some soft areas were noted when walked on.
Some scuffing and aggregate loss noted and should be monitored.
Nail heads should be sealed where exposed.
Moss was noted growing on the roof surface.
Some debris was noted on roof surface.

Satisfactory Approx. Age - 10 thru 15

ROOF

Satisfactory Number of Layers - 1

Service/Repair Roof Ventilation System - Soffit, Gable Vents

A damaged gable vent was noted.

Satisfactory Flashing - Aluminum

Satisfactory Plumbing Vents - Cast Iron

CHIMNEY

Satisfactory Chimney Inspected From - Roof

Satisfactory Chimney 1 Type - Brick

Satisfactory Chimney 1 Location - Main, Fireplace

Major Defect Flue Lining - Clay Tile

Cracks were noted in flue liner. Further evaluation is recommended by a qualified chimney contractor and all needed repairs should be made.

Satisfactory Chimney Top - Cement

Some cracks noted in chimney top.

COOLING

Satisfactory Cooling System 1 Brand - Payne

Satisfactory Cooling System 1 Tonnage - 3 Ton

Satisfactory Cooling System 1 Approx. Age - 1

Satisfactory Heat Pump - Air to Air

Satisfactory Cooling System Coils and Fins - Clean

Satisfactory Cooling System Electrical - Ext. Disconnect

Satisfactory Cooling Lines - Insulation

Service/Repair Condensate Drain - Plastic

The condensate line drain terminates on the side of the house.

COOLING

Satisfactory Differential Temp 1 - Details

Return temp = 77 Supply temp = 60 Differential Temp = 17

ELECTRIC

Major Defect Main Electrical Service - Attached To House

The main service cable is deteriorated and should be replaced.

Satisfactory Main Electrical Service Wire - Aluminum

Satisfactory Overhead Clearance - 16 Feet

Satisfactory Voltage Available - 110 / 220

Satisfactory Main Electrical Distribution Panel Accessibility - Typical

Satisfactory Main Electrical Distribution Panel Location - Bedroom

Satisfactory Main Electrical Disconnect - Breaker

Satisfactory Main Panel - 100

Satisfactory Sub Panel - 60

Satisfactory Interior Wiring Visual Primary Type - Copper 90 percent

Satisfactory Type of Wire Visual Primary Type - Romex

Satisfactory Grounding - Driven Rod

Satisfactory Breakers in Use - Room for Expansion

Satisfactory Sub Panel Cir. in Use - 100 percent

Safety Concern Inspection Sticker - Main Panel, Sub Panel

No panel sticker in main panel and should be inspected.
No panel sticker in sub-panel and should be inspected.

Safety Concern Electrical Defaults - Main Panel

Legend should be filled out to identify breakers.
Double tapping was noted and should be repaired.
Internal wiring should be better secured
Unused wiring should be removed or placed in a junction box

ELECTRIC

Satisfactory Electrical Duplex Receptacles Primary Type - 3 Slotted

PLUMBING

Satisfactory Water Source - Municipal

Satisfactory Municipal Main Supply Size - 3/4

Major Defect Municipal Main Supply Type - Copper

A leak was noted at pressure sight glass, and should be repaired by a plumbing contractor.

Satisfactory Main Water Shut Off - Crawl Space

Satisfactory Interior Visible Water Pipes Visual Primary Type - Copper, CPVC

Satisfactory Waste System - Municipal

Inspection Definition/Limitation Interior Waste/Vent Pipes Visual Primary Type - PVC, Cast Iron, Copper

Most supply and drain piping was concealed.

Satisfactory Number of Outside Spigots - 2

Satisfactory Type of Outside Spigots - Unprotected

Unprotected hose connections should be shut off and drained before first freeze each year.

LAUNDRY

Satisfactory Laundry Sink - Cement

Satisfactory Laundry Sink Faucets - Tested

Satisfactory Laundry Sink Drain Trap - PVC

Satisfactory Laundry Water Faucets - Single Handle

Satisfactory Washer Drains - Laundry Sink

Satisfactory Dryer Vented - Wall

LAUNDRY

Satisfactory Laundry Energy Source - 220 Electric

FURNACE

Satisfactory Forced Air System 1 Mfg. - Other
Payne

Satisfactory Forced Air System 1 Approx. Age - 1

Satisfactory Distribution System Type - Side Flow

Satisfactory Distribution System Material - Metal Duct

Satisfactory Thermostat - Single and Multi

Satisfactory Filter System - Re Usable

BOILER

Major Defect BOILER - General Comment

Strongly suggest that the unit be inspected by a qualified heating contractor, and should be inspected annually as per the manufacturer's recommendation. Records should be checked to determine if inspections have been carried out and if not, they should be done.

Some rust and corrosion was noted

Evidence of past leakage

A bucket was noted under the TPR

Satisfactory Manufacture - Crown

Satisfactory Approx Age - 9

Satisfactory Rated BTU Per Hour - 100.000

Monitor/Maintain Boiler System Energy Source - Oil Fired

Oil tank was noted on the property

Tank was covered at time of inspection.

Satisfactory Boiler System Distribution Type - Hot Water, Baseboard

Satisfactory Boiler System Circulator #Pumps - 1

Satisfactory Boiler System Thermostat - Individual

BOILER

- Satisfactory** Boiler System Controls - Temp. Pressure Relief
- Satisfactory** Boiler Pressure Controls - Temp. Pressure Gauge
- Satisfactory** Boiler Emer. Disconnect - Breaker Disconnect
- Satisfactory** Boiler System Distribution Material - Copper

BASEMENT

Inspection Definition/Limitation Basement Type - Lower Level

The basement is finished and will be referred to as an interior room.

- Satisfactory** Basement Floor - Carpet On Slab
- Satisfactory** Basement Wall Finish - Drywall

CRAWL SPACE

- Satisfactory** Crawl Space Type - Combination
- Satisfactory** Crawl Space Access - Interior Hatch
- Monitor/Maintain** Crawl Space Foundation Walls - Cement Block
Some cracks and water penetration may occur over time.
- Satisfactory** Crawl Space Structural Columns - Cement Block
- Satisfactory** Crawl Space Structural Beams - Wood
- Satisfactory** Crawl Space Ceiling Sub Floor - Concealed
- Satisfactory** Crawl Space Ceiling Joist - 2X8X16 O.C.
- Major Defect** Crawl Space Insulation - Between Joist
Insulation limits inspection.
Evidence of animal activity was noted
Insulation was wet in areas at time of inspection, source of moisture should be identified and all needed repairs should be made to remove moisture and source.
- Satisfactory** Crawl Space Floor Type - Concrete

KITCHEN

- Satisfactory** Kitchen Walls - Drywall
- Satisfactory** Kitchen Ceiling - Drywall
- Satisfactory** Kitchen Floors - Vinyl
- Satisfactory** Kitchen Heating Source - Other
Baseboard radiator
- Satisfactory** Kitchen Cooling Source - Central
- Satisfactory** Kitchen Cabinets - Custom Wood
- Satisfactory** Kitchen Sink - Stainless
- Satisfactory** Kitchen Sink Faucet - Single Lever
- Satisfactory** Kitchen Drain and Trap - PVC
- Satisfactory** Garbage Disposal - Continuous Feed
- Satisfactory** Dishwasher Mfg. - GE
- Major Defect** Exhaust Fan Hood - Hood Ductless
The fan was not working at the time of the inspection.
The exhaust fan is in the bottom of microwave.
- Satisfactory** Range Oven - Drop In
- Satisfactory** Surface Cooktop - Electrical
- Safety Concern** Kitchen Wall Receptacles - Grounded
Recommend adding GFCI outlets in areas near water.
- Satisfactory** Kitchen Switches Fixtures - Recessed, Hanging, Fixed

HALF BATH

- Satisfactory** Half Bath Doors and Windows - Door Lock
- Satisfactory** Half Bath Electric Switches and Fixtures - Ceiling, Wall

HALF BATH

- Satisfactory Half Bath Receptacles - None
- Satisfactory Half Bath Walls and Ceilings - Drywall
- Satisfactory Half Bath Exhaust System - Window
- Satisfactory Half Bath Heating and Cooling - Other
Baseboard radiator
- Satisfactory Half Bath Sink Faucets - Individual
- Satisfactory Half Bath Sink Stopper - Push Pull
- Satisfactory Half Bath Sink Basin - Cast Marble
- Satisfactory Half Bath Sink Drain and Trap - Chrome
- Satisfactory Toilet Bowl and Tank - 2 Piece
- Satisfactory Toilet Operation - Flushes, Drains, Refills
- Satisfactory Half Bath Ventilation - Window
- Satisfactory Half Bath Floor - Ceramic Tile
- Satisfactory Number of Half Baths - 1

BATHROOM

- Satisfactory Bathroom Doors, Windows - Door Lock
- Satisfactory Bathroom Electric Switches and Fixtures - Ceiling, Wall
- Satisfactory Bathroom Receptacles - Grounded, GFCI
Recommend GFCI protection near water.
- Satisfactory Bathroom Walls and Ceilings - Drywall
- Satisfactory Bathroom Exhaust System - Window

BATHROOM

Satisfactory Bathroom Heating Cooling - Other

Baseboard radiator

Satisfactory Bathroom Sink Faucets - Individual

Satisfactory Bathroom Sink Stopper - Push Pull

Satisfactory Bathroom Sink Basin - Cast Marble

Service/Repair Bathroom Sink Drain and Trap - Chrome

The drain in the master bath sink is slow.

Service/Repair Toilet Bowl and Tank - 2 Piece

The toilet is loose at the base in the master bath.

Satisfactory Toilet Operation - Flushes, Drains, Refills

Satisfactory Bathtub Faucets - Single Lever

Service/Repair Bathtub Stopper - Concealed

The stopper in the upstairs hall bath would not seal.
Hall bathroom tub/shower drains slowly

Satisfactory Bath Showerhead - Standard

Satisfactory Tub Wall Encl. - Ceramic

Satisfactory Bathroom Ventilation - Window

Satisfactory Bathroom Floor - Ceramic

Safety Concern Shower Stall Walls - Ceramic Tile

Ceramic tile joints need caulking.
Some mold/mildew was noted on walls/ceiling and should be cleaned by qualified personnel. As mold and mildew are not part of the home inspection the client may decide to do further evaluation to determine the extent of the problem and cost of cleanup/repair.

Satisfactory Shower Drain - Floor Drain Stall

Satisfactory Shower Faucets - Individual

Satisfactory Number of Full Baths - 2

ATTIC

Inspection Definition/Limitation

Attic Accessibility - Access restricted

Attic inspection limited by low head room, insulation if installed and other factors such as no access etc.

Satisfactory

Attic Entry Access - Hatch, Pull Down Steps

Satisfactory

Attic Access Location - Hallway, Bedroom

Satisfactory

Attic Structural Framing Type - Conventional

Satisfactory

Attic Structural Framing Spacing - 16 inches on Center

Satisfactory

Attic Sheathing - Plywood

Satisfactory

Attic Floor Insulation - Fiberglass

Satisfactory

Attic Insulation Thickness - 6 inches

Satisfactory

Attic Insulation Approx. R. Value - 19

Satisfactory

Attic Ventilation - Gable End, Ridge, Soffit

Satisfactory

Attic Wiring - Covered with Insulation, Exposed

Satisfactory

Attic Vent Pipes - Vented Outside

Satisfactory

Attic Exhaust - Vents Outside

INTERIOR

Satisfactory

Interior Fixtures - Properly Wired

Satisfactory

Interior Outlets - Three Prong Grounded

Satisfactory

Smoke Detectors - One On Each Level

Smoke detectors should be checked on the day home is occupied.

Service/Repair

Interior Fire Place 1 - Masonry

The chimney/fireplace should be cleaned prior to use.

INTERIOR

Satisfactory Visible Flues and DMPs - Operated

Satisfactory Closets - Doors in Place

Satisfactory Stairways - With Hand Railings

Service/Repair Ceiling Fan - Tested

The ceiling fan did not operate at time of inspection.

Satisfactory Interior Switches - Tested

Inspection Definition/Limitation Interior Cabinets and Shelving - Accessible, Other

Access was limited by stored items and furniture, the home is currently occupied at time of inspection

Satisfactory Interior Floors - Vinyl, Wood, Carpet

Monitor/Maintain Interior Ceilings - Dry Wall

Typical drywall flaws were noted.

Service/Repair Interior Walls - Dry Wall

Typical drywall flaws were noted.
Some cracks were noted.

Satisfactory Number of Bedrooms - 4

Satisfactory Interior Cooling Source - Tested

Major Defect Interior Rooms - Other

Live carpenter ant was noted crawling in the home and should be further evaluated by a pest control company and all needed treatments be applied.

Satisfactory Interior Heat Source - Tested

Major Defect Windows - Operated

Condensation was noted between insulated window panes.
Some windows where not tested due to lack of access.
All windows should be evaluated by a qualified contractor and all needed repairs should be made.

Satisfactory GFCI Rest - Reset

INSPECTION DEFINITIONS/LIMITATION

Inspection Definition/Limitation

Inspection Description/limitation - Information

DEFINITION/LIMITATION

INSPECTION DEFINITION/LIMITATION

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Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalist and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas sighted in the home inspection. Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible. When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property. The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might effect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist. Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully. Home buyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment or other damage, which could have been prevented if the inspector's advise, and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.